

## Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

<b>NRCB USE ONLY</b>	Application number <b>RA24008</b>	Legal land description <b>NW 5-31-28 W4M</b>
<input checked="" type="checkbox"/> Approval <input type="checkbox"/> Registration <input type="checkbox"/> Authorization <input type="checkbox"/> Amendment		

### APPLICATION DISCLOSURE

This information is collected under the authority of the *Agricultural Operation Practices Act (AOPA)*, and is subject to the provisions of the *Freedom of Information and Protection of Privacy Act*. This information is public unless the NRCB grants a written request that certain sections remain private.

**Any construction prior to obtaining an NRCB permit is an offence and is subject to enforcement action, including prosecution.**

I, the applicant, or applicant's agent, have read and understand the statements above, and I acknowledge that the information provided in this application is true to the best of my knowledge.

February 22, 2024

Date of signing  
 Kamlah Farms Ltd  
 Corporate name (if applicable)

Signature   
 Jeffery Kamlah  
 Print name

### GENERAL INFORMATION REQUIREMENTS

**Proposed facilities:** list all proposed confined feeding operation facilities and their dimensions. Indicate whether any of the proposed facilities are additions to existing facilities. (attach additional pages if needed)

Proposed facilities	Dimensions (m) (length, width, and depth)
Proposed Pullet Barn	93m by 30m

**Existing facilities:** list ALL existing confined feeding operation facilities and their dimensions

Existing facilities	Dimensions (m) (length, width, and depth)	NRCB USE ONLY
2 broiler barns	160m by 21m	Confirmed
2 broiler breeder barns	93m by 30m	Confirmed

**NRCB USE ONLY**

Site is currently permitted under RA21006

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If a new facility is replacing an old facility, please explain what will happen to the old facility and when.  N/A

This new facility is replacing the pullet growing barn on SE-6-31-28-W4. The old barn will be convert back to broiler production.

Construction completion date for proposed facilities We would like to complete this barn on September 2024.

### Additional information

**Livestock numbers:** Complete only if livestock numbers are different from what was identified in the Part 1 application. Note: if livestock numbers increase in your Part 2 application, a new Part 1 application must be submitted which may result in a loss of priority for minimum distance separation (MDS).

Livestock category and type (Available in the Schedule 2 of the Part 2 Matters Regulation)	Permitted number	Proposed increase or decrease in number (if applicable)	Total
broiler breeder pullet	16,000	+16,000 same	16,000
Site is currently permitted for:			
Chicken Breeders	35,000	0	35,000
Chicken Broilers	130,000	0	130,000
The site is currently permitted for 35,000 chicken breeders, and 130,000 chicken broilers. This application seeks to increase the permitted livestock numbers by 16,000 chicken pullets.			

## Part 2 – Technical Requirements

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### **DECLARATION AND ACKNOWLEDGMENT OF APPLICANT CONCERNING WATER ACT LICENCE**

issued by Alberta Environment and Protected Areas (EPA) for a confined feeding operation (CFO)

*Date and sign one of the following four options*

#### **OPTION 1: Applying through the NRCB for both the AOPA permit and the Water Act licence**

I **DO** want my water licence application coupled to my AOPA permit application.

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
*Signature of Applicant or Agent*

#### **OPTION 2: Processing the AOPA permit and Water Act licence separately**

1. I (we) acknowledge that the CFO will need a new water licence from EPA under the *Water Act* for the development or activity proposed in this AOPA application.
2. I (we) request that the NRCB process the AOPA application **independently** of EPA's processing of the CFO's application for a water licence.
3. In making this request, I (we) recognize that, if this AOPA application is granted by the NRCB, the NRCB's decision will not be considered by EPA as improving or enhancing the CFO's eligibility for a water licence under the *Water Act*.
4. I (we) acknowledge that any construction or actions to populate the CFO with livestock pursuant to an AOPA permit in the absence of a *Water Act* licence will **not** be relevant to EPA's consideration of whether to grant the *Water Act* licence application.
5. I (we) acknowledge that any such construction or livestock populating will be at the CFO's sole risk if the *Water Act* licence application is denied or if the operation of the CFO is otherwise deemed to be in violation of the *Water Act*. This risk includes being required to depopulate the CFO and/or to cease further construction, or to remove "works" or "undertakings" (as defined in the *Water Act*).
6. **AS RELEVANT:** I (we) acknowledge that the CFO is located in the South Saskatchewan River Basin and that, pursuant to the *Bow, Oldman and South Saskatchewan River Basin Water Allocation Order* [Alta. Reg. 171/2007], this basin is currently closed to new surface water allocations.
7. **Provide:** Water licence application number(s) \_\_\_\_\_

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
*Signature of Applicant or Agent*

#### **OPTION 3: Additional water licence not required**

1. I (we) declare that the CFO will not need a new licence from EPA under the *Water Act* for the development or activity proposed in this AOPA application.
2. **Provide:** Water license number(s) or water conveyance agreement details \_\_\_\_\_

Signed this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

\_\_\_\_\_  
*Signature of Applicant or Agent*

## Part 2 – Technical Requirements

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### **OPTION 4: Uncertain if *Water Act* licence is needed; acknowledgement of risk (for existing CFOs only)**

1. At this time, I (we) do not know whether a new water licence is needed from EPA under the *Water Act* for the development or activity proposed in this AOPA application.
2. If a new *Water Act* licence is needed, I (we) request that the NRCB process the AOPA application **independently of** EPA's processing of the CFO's application for a water licence.
3. In making this request, I (we) recognize that, if this AOPA application is granted by the NRCB, the NRCB's decision will not be considered by EPA as improving or enhancing the CFO's eligibility for a water licence under the *Water Act*.
4. I (we) acknowledge that any construction or actions to populate the CFO with additional livestock pursuant to an AOPA permit in the absence of a *Water Act* licence will **not** be relevant to EPA's consideration of whether to grant my *Water Act* licence application, if a new water licence is needed.
5. I (we) acknowledge that any such construction or livestock increase will be at the CFO's sole risk if the *Water Act* licence application is denied or if the operation of the CFO is otherwise deemed to be in violation of the *Water Act*. This risk includes being required to depopulate the CFO and/or to cease further construction, or to remove "works" or "undertakings" (as defined in the *Water Act*).
6. **AS RELEVANT:** I (we) acknowledge that the CFO is located in the South Saskatchewan River Basin and that, pursuant to the *Bow, Oldman and South Saskatchewan River Basin Water Allocation Order* [Alta. Reg. 171/2007], this basin is currently closed to new surface water allocations.
7. **Provide:** Water license number(s) or water conveyance agreement details \_\_\_\_\_  
**AO:** Applicant has provided water license 177889-00-00

Signed this 22 day of February, 2024.

  
\_\_\_\_\_  
Signature of Applicant or Agent



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# Kamlah Farms



Mountain View County, Alberta Pullet Barn

**SYMBOL LEGEND**

CONSTRUCTION REFERENCE		CONSTRUCTION TAG
FINISH REFERENCE		EXTERIOR FINISH TAG
GRID NUMBER		GRID BUBBLE
DOOR REFERENCE		DOOR TAG
ROOM NUMBER		ROOM TAG
DESCRIPTION		ELEVATION DATUM
ELEVATION		ELEVATION DATUM
DRAWING NUMBER		BUILDING SECTION CALLOUT
SHEET NUMBER		ELEVATION CALLOUT
DRAWING NUMBER		ELEVATION CALLOUT
SHEET NUMBER		ELEVATION CALLOUT
WINDOW REFERENCE		WINDOW TAG
ELEVATION		ELEVATION TAG
DRAWING TITLE		DRAWING TITLE
DRAWING NUMBER		DRAWING TITLE
SHEET NUMBER		DRAWING TITLE
SHEET NUMBER		DRAWING TITLE

**1 Floor Plan**  
A2.0 1/8" = 1'-0"  
SCALE

**DRAWING INDEX**

Sheet Number	Sheet Name	Current Revision
J000	Index	D
J101	Setback Plan	B
J102	Site Plan	C
J201	Floor Plan	D
J202	Foundation Plan	D
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J301	Elevations	D
J302	Elevations	D
A101	Building Sections	D
A102	Building Sections	D
A103	Building Sections	D

Sheet Count: 12

PRELIMINARY

NOT FOR CONSTRUCTION

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Kamlah Farms  
Pullet Barn  
Mountain View County, Alberta  
12-05-31-28 W4

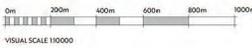
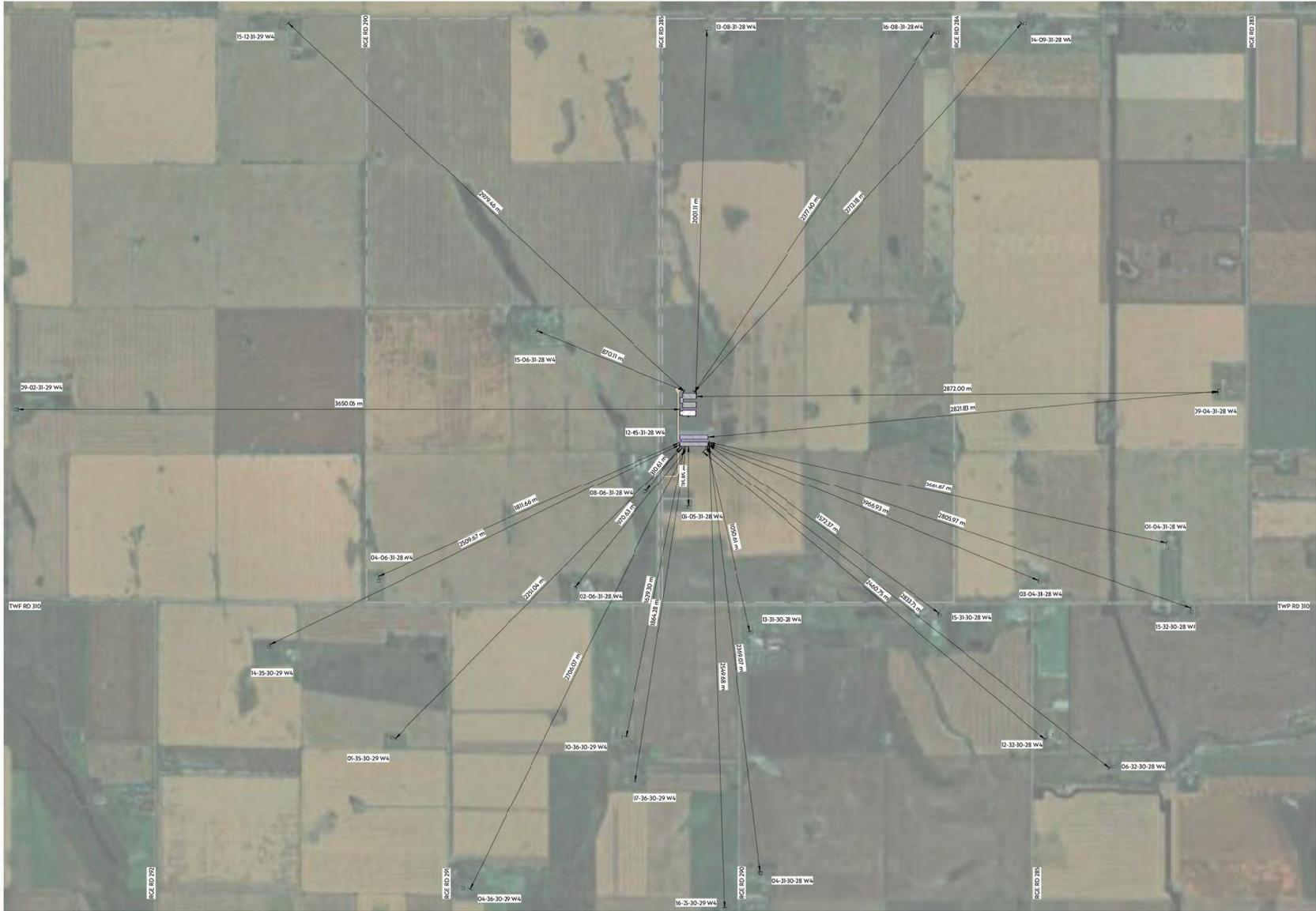
NO.	DATE	DESCRIPTION	BY
A	2023-06-15	ISSUED FOR PRELIMINARY REVIEW	JC
B	2024-01-23	ISSUED FOR PRELIMINARY REVIEW	JC
C	2024-01-23	ISSUED FOR PRELIMINARY REVIEW	JC
D	2024-01-29	ISSUED FOR REVIEW	JC

Project No: A23404  
Date: 1/29/2024 11:17:51 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Index

Sheet No:  
**A000**

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1 Setback Plan  
A101 1:10000



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**EAGLE BUILDERS**  
4031 885-5525 P.O. BOX 1690  
BLACKFALDS, AB, T0M 0A0

**Kamlah Farms**  
**Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

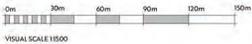
NO.	DESCRIPTION	DATE
A	ISSUED FOR PRELIMINARY REVIEW	2023-06-15
B	REVISED SITE PLAN	2023-10-11

Project No: A23404  
Date: 1/29/2024 11:17:52 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Setback Plan

Sheet No:  
**A101**

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**NOTES CONCERNING BUILDING LOCATION**

1. THIS SITE PLAN IS BASED ON INFORMATION PROVIDED BY THE OWNER, AND NOT A SURVEY OR ACTUAL SITE MEASUREMENTS. ENGINEER S TO BE ADVISED BEFORE START OF CONSTRUCTION OF ANY UN-KNOWN FEATURES ON THIS OR THE ADJACENT SITES THAT MIGHT IMPACT ON THE PROJECT EITHER DURING CONSTRUCTION OR FUTURE USE.
2. THE "NORTH" ORIENTATION REFERS TO NOMINAL NORTH RATHER THAN TRUE OR MAGNETIC NORTH.
3. ANY DIMENSIONS THAT SHOW THE LOCATION OF EXISTING FEATURES ARE APPROXIMATE ONLY, AND ARE TO BE CONFIRMED BEFORE CONSTRUCTION START AS REQUIRED BY A CERTIFIED ALBERTA LAND SURVEYOR.
4. LANDSCAPING IS SUBJECT TO CHANGE.

**BYLAW INFORMATION**

ZONING: AGRICULTURAL DISTRICT 6W  
**SETBACKS**  
 FRONT YARD (F0) REQUIRED: 40.0m  
 REAR YARD (R0) REQUIRED: 15.0m  
 SIDE YARD (S0) REQUIRED: 15.0m  
 SIDE YARD (S1) REQUIRED: 15.0m  
**BUILDING HEIGHT:**  
 MAX. TBD BY DEVELOPMENT AUTHORITY

**SITE PLAN LEGEND**

PROPERTY LINE	---
SETBACK LINE	---
RIGHT OF WAY LINE	---
RIGHT OF WAY MATCH	---
PROPOSED BUILDING	---
FENCE	---
MAIN DOOR	---
OVERHEAD DOOR	---
BARRIER FREE ENTRANCE	---

**Site Schedule**

ON SITE	Area	Perimeter
APRON	38.5 m <sup>2</sup>	414.08 ft
BIN PAD	36.4 m <sup>2</sup>	392.00 ft
SIDEWALK	68.8 m <sup>2</sup>	740.14 ft
Grand total	143.6 m <sup>2</sup>	1,546.23 ft

**SITE MATERIAL LEGEND**

APRON	---
SIDEWALK	---
LIGHT DUTY ASPHALT	---
HEAVY DUTY ASPHALT	---
GRAVEL	---
LANDSCAPING	---
HARD LANDSCAPING	---
MULCH	---

**PRELIMINARY**  
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**EAGLE BUILDERS**  
4031 888-5525 P.O. BOX 1490  
BLACKFALDS, AB, T0M 0A0

**Kamlah Farms**  
**Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

NO.	DESCRIPTION	DATE
A	ISSUED FOR PRELIMINARY REVIEW	2023.06.15
B	ISSUED FOR PRELIMINARY REVIEW	2024.01.11
C	ISSUED FOR PRELIMINARY REVIEW	2024.01.23

Project No: A23404  
 Date: 1/29/2024 11:17:52 AM  
 Drawn by: JC  
 Checked by: JC  
 Sheet Name:

Site Plan

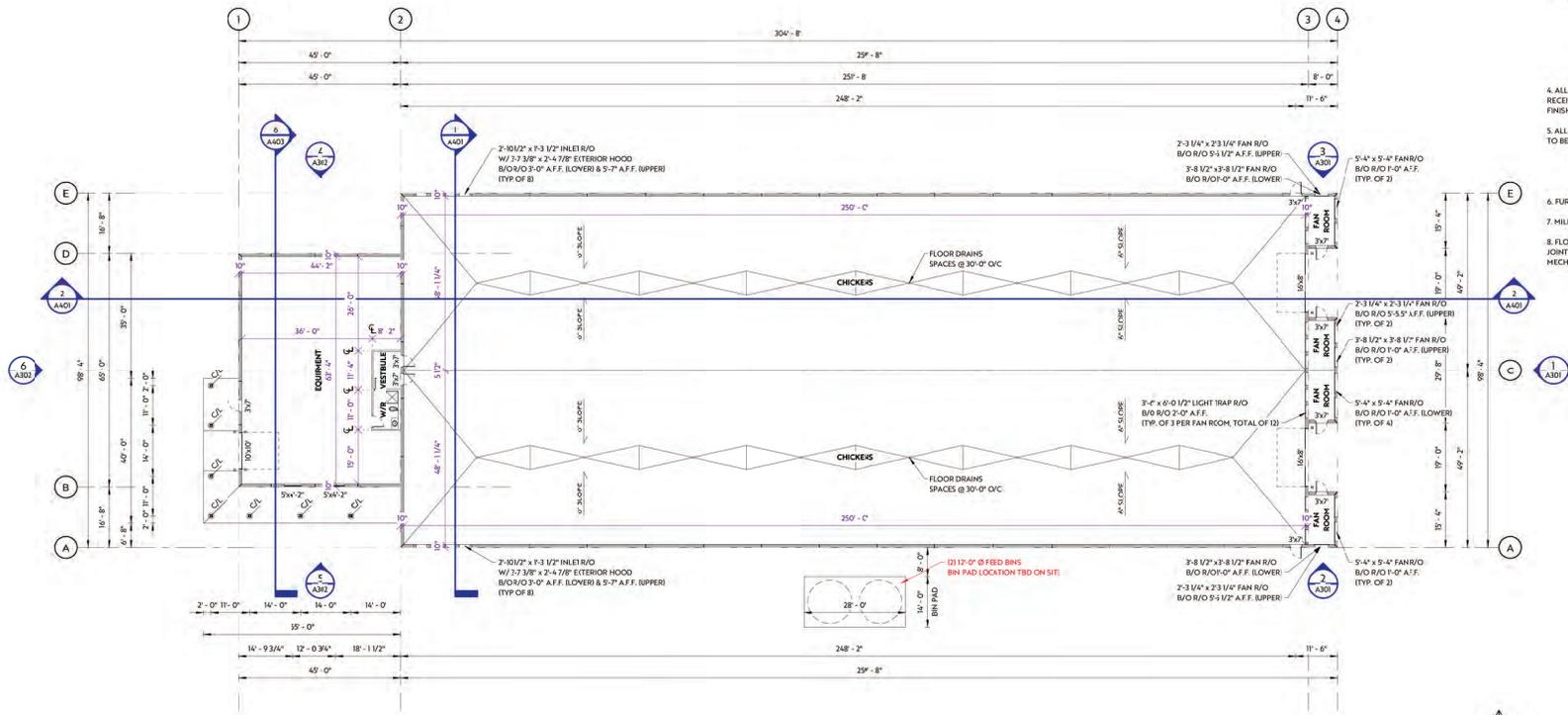
Sheet No:  
**A102**

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**CONSTRUCTION LEGEND**

	NEW FRAMED WALL
	NEW PRECAST WALL
	EXISTING WALL
	DEMOLISHED WALL
	NEW DOOR
	EXISTING DOOR

- NOTE:**
- RATED WALLS SHALL BE FRAMED TO UNDERSIDE OF RATED FLOOR ASSEMBLY OR ROOF ASSEMBLY
  - ADC BLOCKING BETWEEN STUDS AS REQUIRED TO SUPPORT ALL EDGES OF 1/2" TYPE "X" GYPSUM BOARD
  - FIRE SEPARATION AS SHOWN:
    - 0 HR - - - - -
    - 3/4 HR - - - - -
    - 1 HR - - - - -
    - 2 HR - - - - -
    - 4 HR - - - - -
  - ALL WASHROOMS AND JANITOR ROOMS TO RECEIVE IMPERVIOUS DURABLE FLOOR AND WALL FINISH UP TO 5'-0" A.F.F.
  - ALL TILED WALLS ADJACENT TO PRECAST WALLS TO BE RECONSTRUCTED AS:
    - 1" GAP
    - 1 1/2" STEEL STUDS @ 24" O/C
    - 1/2" GYPSUM BOARD
  - FURNITURE NOT INCLUDED
  - MILLWORK BY MILLWORK SUPPLIER
  - FLOOR SLAB POLY. TO BE SEALED AT ALL JOINTS & PERFORATIONS. REFER TO MECHANICAL FOR RAGGH COLLECTION



**1 Overall Floor Plan**  
1/8" = 1'-0"

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BLACKFALDS, AB, T0M 0A0

**Kamlah Farms**  
**Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

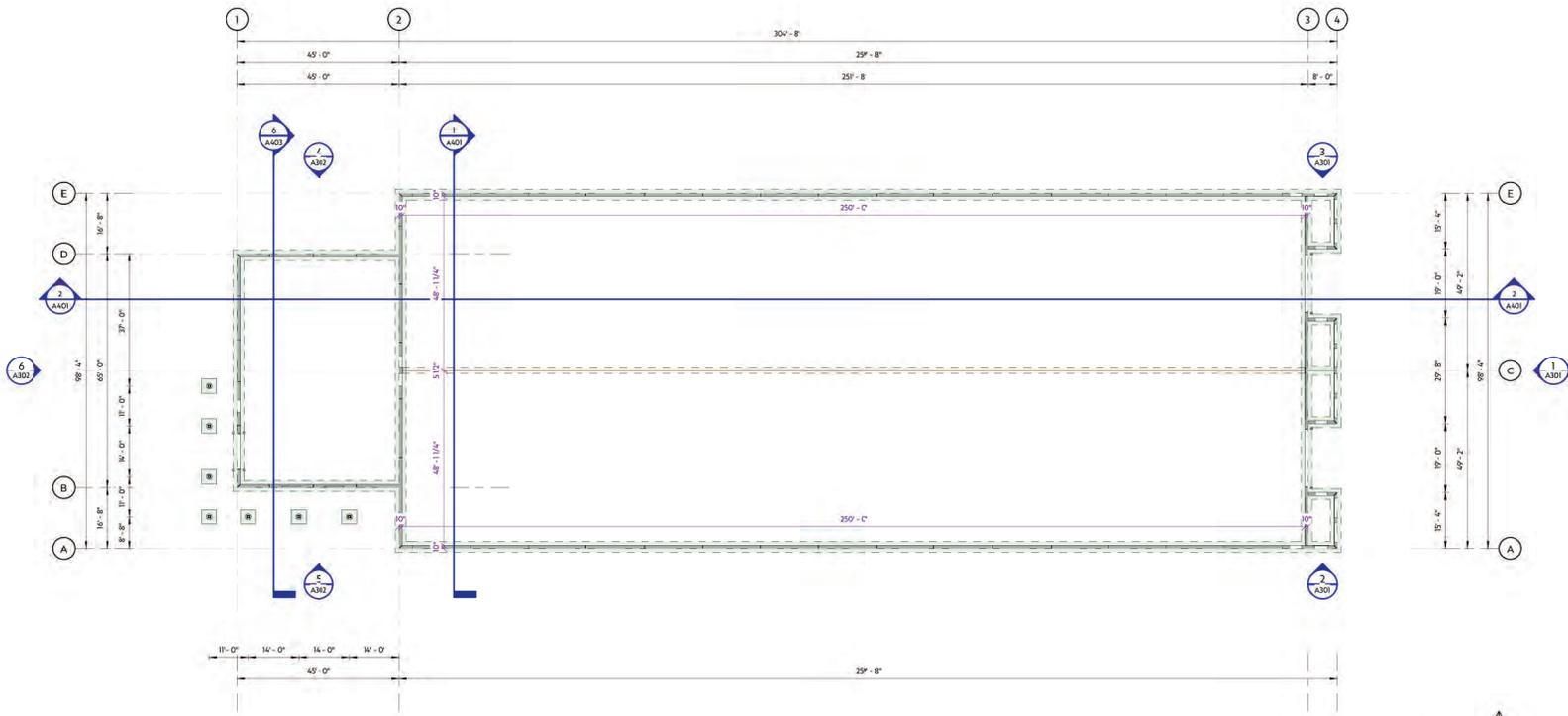
NO.	DESCRIPTION	DATE
1	ISSUED FOR PRELIMINARY REVIEW	2023-06-15
2	ISSUED FOR PRELIMINARY REVIEW	2024-01-23
3	ISSUED FOR PRELIMINARY REVIEW	2024-01-23

Project No: A23404  
Date: 1/29/2024 11:17:04AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Floor Plan

Sheet No:  
**A201**

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1 Overall Foundation Plan  
A202 1/16" = 1'-0"



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Kamlah Farms  
Pullet Barn  
Mountain View County, Alberta  
12-05-31-28 W4

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2024-01-29

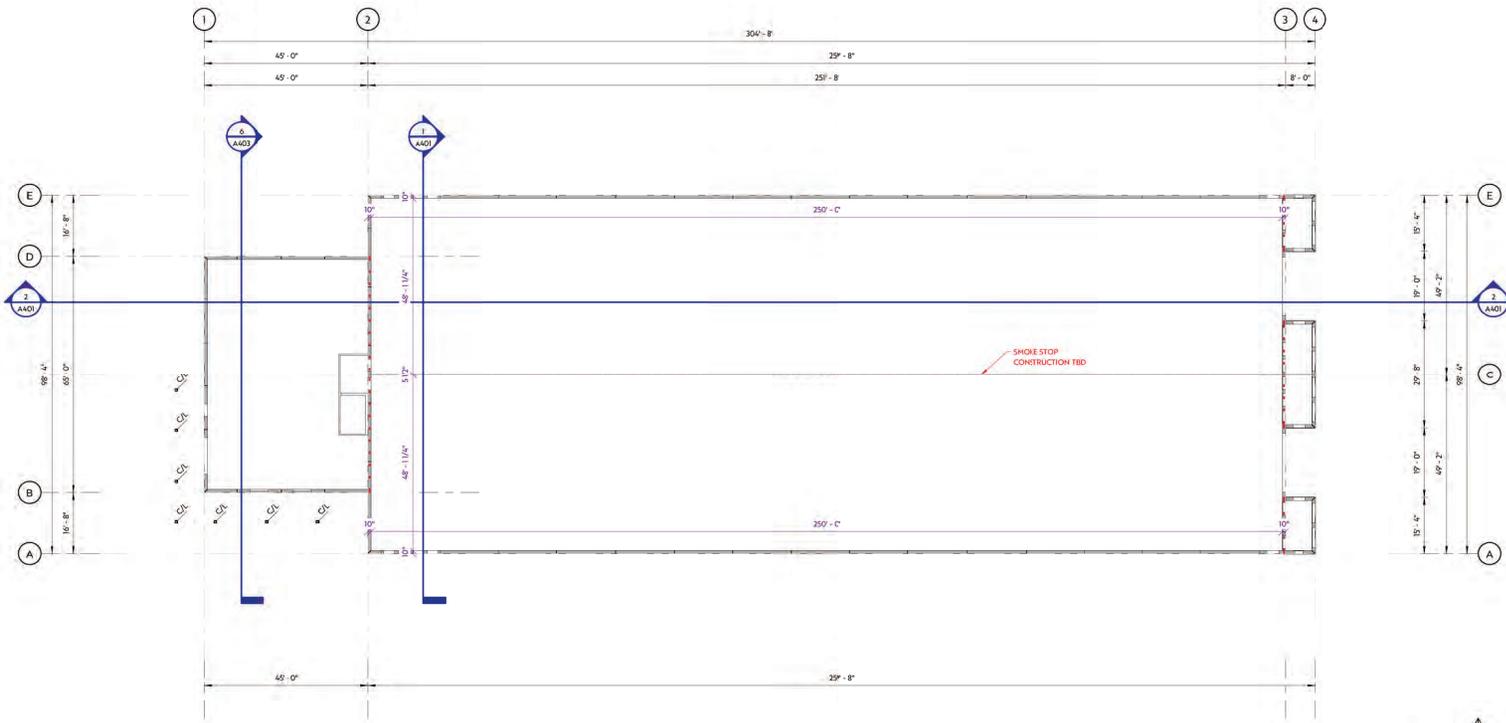
Project No: A23404  
Date: 1/29/2024 11:17:24 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Foundation Plan

Sheet No:

A202

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1 Overall Ceiling Plan  
A203 1/16" = 1'-0"



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Kamlah Farms  
Pullet Barn  
Mountain View County, Alberta  
12-05-31-28 W4

NO.	DESCRIPTION	DATE
1	ISSUED FOR REVIEW	2024-01-29

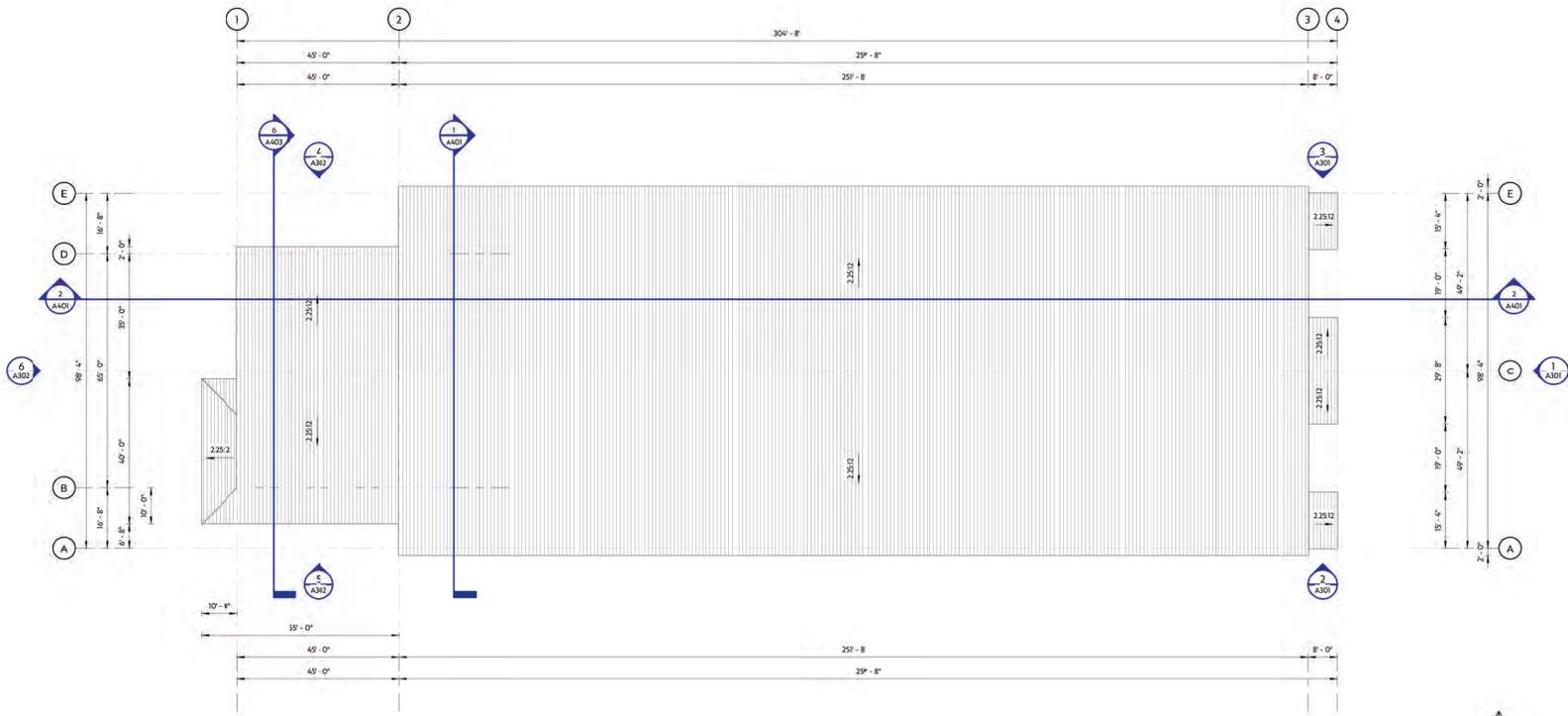
Project No: A23404  
Date: 1/29/2024 11:17:24 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Reflected Ceiling Plan

Sheet No:

A203

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1 Overall Roof Plan  
A204 1/8" = 1'-0"



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BLACKFALDS, AB, T0M 0A0

**Kamlah Farms  
Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

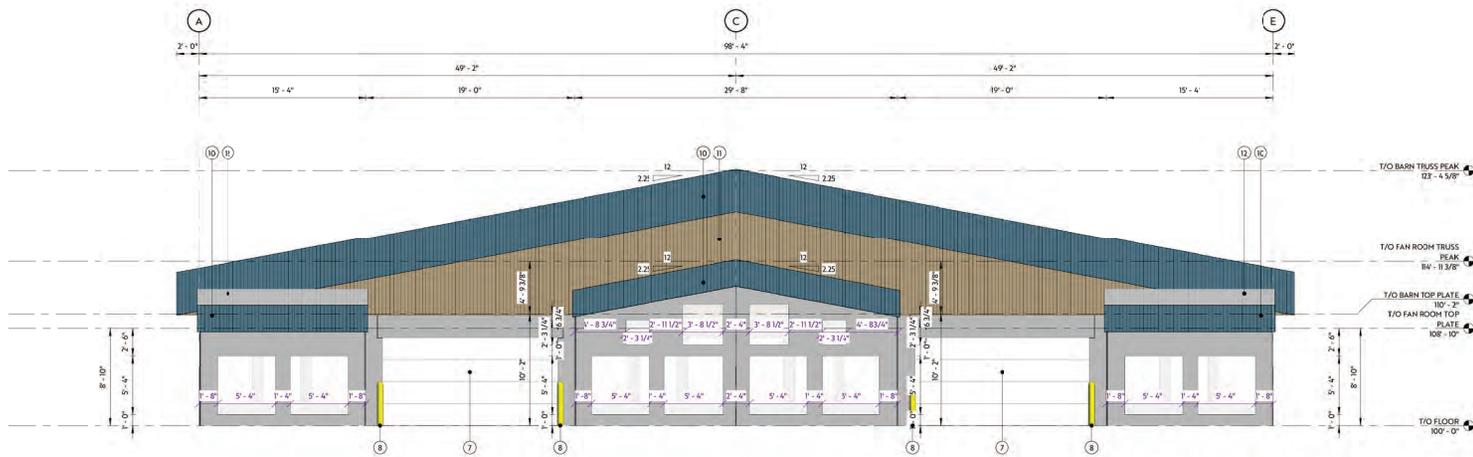
NO.	DATE	DESCRIPTION
1	2024.01.29	ISSUED FOR REVIEW

Project No: A23404  
Date: 1/29/2024 11:17:24 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Roof Plan

Sheet No:  
**A204**

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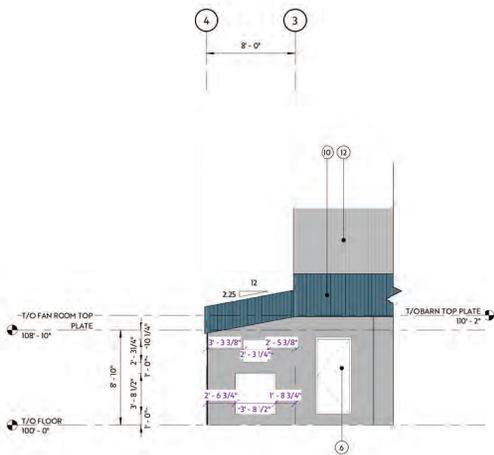


1 East Fan Wall Elevation  
A301 3/6" = 1'-0"

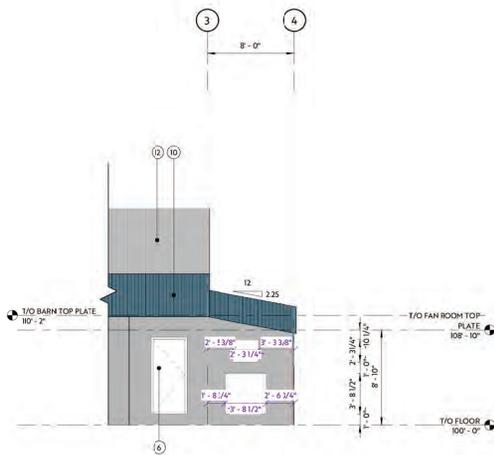
**MATERIAL LEGEND**

- 1 PRECAST CONCRETE PANEL (COLOUR LIGHT GREY - SMOOTH FINISH)
- 2 PRECAST CONCRETE PANEL (COLOUR KAMLAH FARMS BLUE - SMOOTH FINISH)
- 3 PRECAST CONCRETE PANEL (RECLI FORMLINER - 2663 FRASER)
- 4 PRECAST CONCRETE PANEL JOINT & REVEAL
- 5 PREFINISHED ALUMINIUM WINDOW (CLEAR ANODIZED)
- 6 PREFINISHED ALUMINIUM DOOR (CLEAR ANODIZED)
- 7 PRE-FINISHED STEEL OVERHEAD DOOR
- 8 CONCRETE FILLED BOLLARDS (COLOUR SAFETY YELLOW)
- 9 TIMBER COLUMN ON CONCRETE PIER
- 10 METAL FASCIA CLADDING & TRIM (COLOUR KAMLAH FARMS BLUE - BY SUPPLIER)
- 11 METAL GABLE CLADDING & TRIM (COLOUR KAMLAH FARMS BROWN - BY SUPPLIER)
- 12 METAL ROOF CLADDING (COLOUR GALVANIZED - BY SUPPLIER)

NOTE: ALL PAINT COLOURS TO BE APPROVED BY CLIENT ON SITE



3 North Fan Wall Elevation  
A301 3/6" = 1'-0"



2 South Fan Wall Elevation  
A301 3/6" = 1'-0"

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**EAGLE BUILDERS**  
4031 8th Street S.E. Box 1690  
Blackfalds, AB, T0K 6J0

**Kamla Farms  
Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

NO.	DATE	DESCRIPTION
1	2024-01-29	ISSUED FOR REVIEW

Project No: A23404  
Date: 1/29/2024 11:17:05 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

Elevations

Sheet No:  
**A301**

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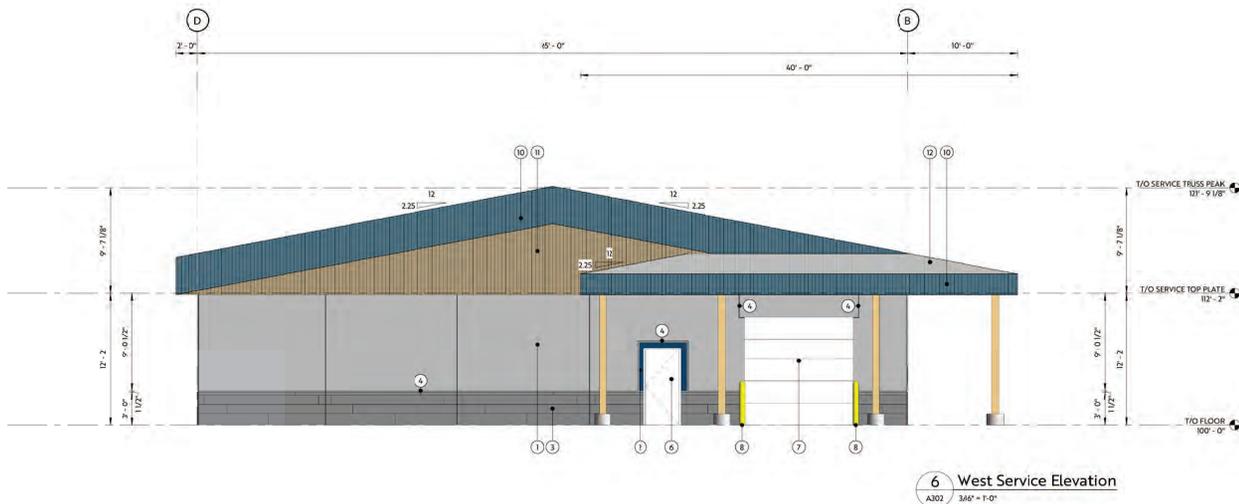
5 South Service Elevation  
A302 3/6" x 1'-0"

4 North Service Elevation  
A302 3/6" x 1'-0"

**MATERIAL LEGEND**

- 1 PRECAST CONCRETE PANEL (COLOUR LIGHT GREY - SMOOTH FINISH)
- 2 PRECAST CONCRETE PANEL (COLOUR KAMLAH FARMS BLUE - SMOOTH FINISH)
- 3 PRECAST CONCRETE PANEL (RECOIL FOAM LINER - 2663 FRASER)
- 4 PRECAST CONCRETE PANEL JOINT & REVEAL
- 5 PREFINISHED ALUMINIUM WINDOW (CLEAR ANODIZED)
- 6 PREFINISHED ALUMINIUM DOOR (CLEAR ANODIZED)
- 7 PRE-FINISHED STEEL OVERHEAD DOOR
- 8 CONCRETE FILLED BOLLARDS (COLOUR SAFETY YELLOW)
- 9 TIMBER COLUMN ON CONCRETE PIER
- 10 METAL FASCIA CLADDING & TRIM (COLOUR KAMLAH FARMS BLUE - BY SUPPLIER)
- 11 METAL GABLE CLADDING & TRIM (COLOUR KAMLAH FARMS BROWN - BY SUPPLIER)
- 12 METAL ROOF CLADDING (COLOUR GALVANIZED - BY SUPPLIER)

NOTE: ALL PAINT COLOURS TO BE APPROVED BY CLIENT ON SITE



6 West Service Elevation  
A302 3/6" x 1'-0"

**PRELIMINARY**

NOT FOR CONSTRUCTION

aggregate  
design studio ltd.

**EAGLE BUILDERS**  
4031 8th Street S.E. P.O. Box 1600  
Blackfalds, AB, T0M 6J0

**Kamlah Farms  
Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

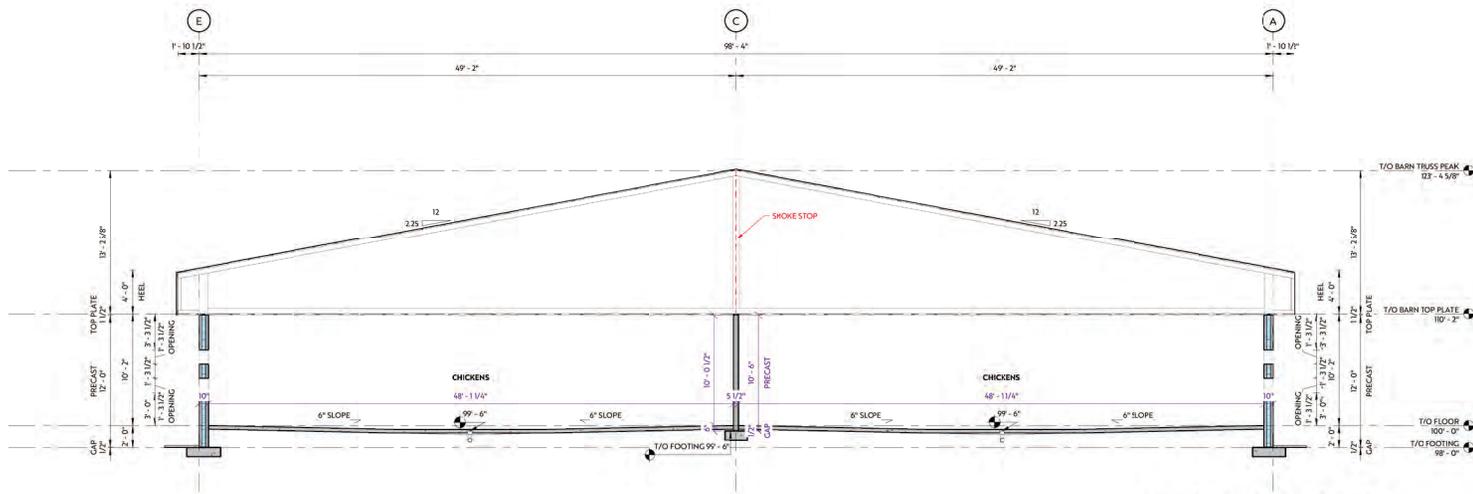
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1	2024-01-29	ISSUED FOR REVIEW

Project No: A23404  
Date: 1/29/2024 11:17:26 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

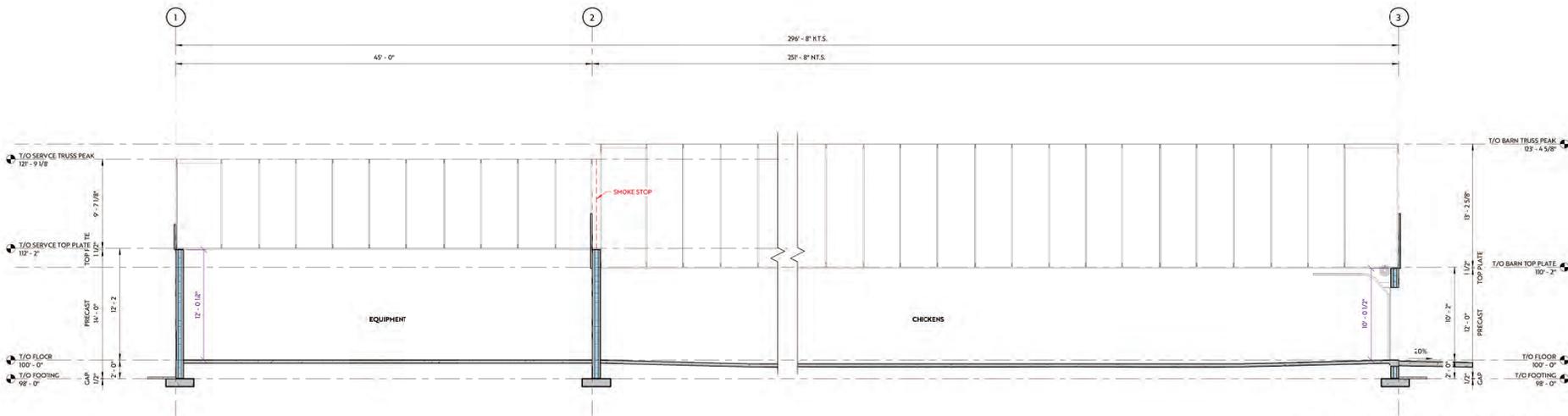
Elevations

Sheet No:  
**A302**

DO NOT SCALE DRAWING. VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR DIMENSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST CONFORM WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER REGULATORY AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



1 Building Section - Pullet Barn  
A401 3/6" = 1'-0"



2 Building Section - Pullet Barn Gable  
A401 3/6" = 1'-0"

PRELIMINARY

NOT FOR CONSTRUCTION

aggregate  
design studio ltd.



4031 885-5525 P.O. BOX 1690  
BLACKFALDS, AB, T0M 6A0

Kamlah Farms  
Pullet Barn  
Mountain View County, Alberta  
12-05-31-28 W4

NO.	DESCRIPTION	DATE
A	ISSUED FOR PRELIMINARY REVIEW	2023.06.15
B	ISSUED FOR PERMITS REVIEW	2024.01.23
C	ISSUED FOR REVIEW	2024.01.23

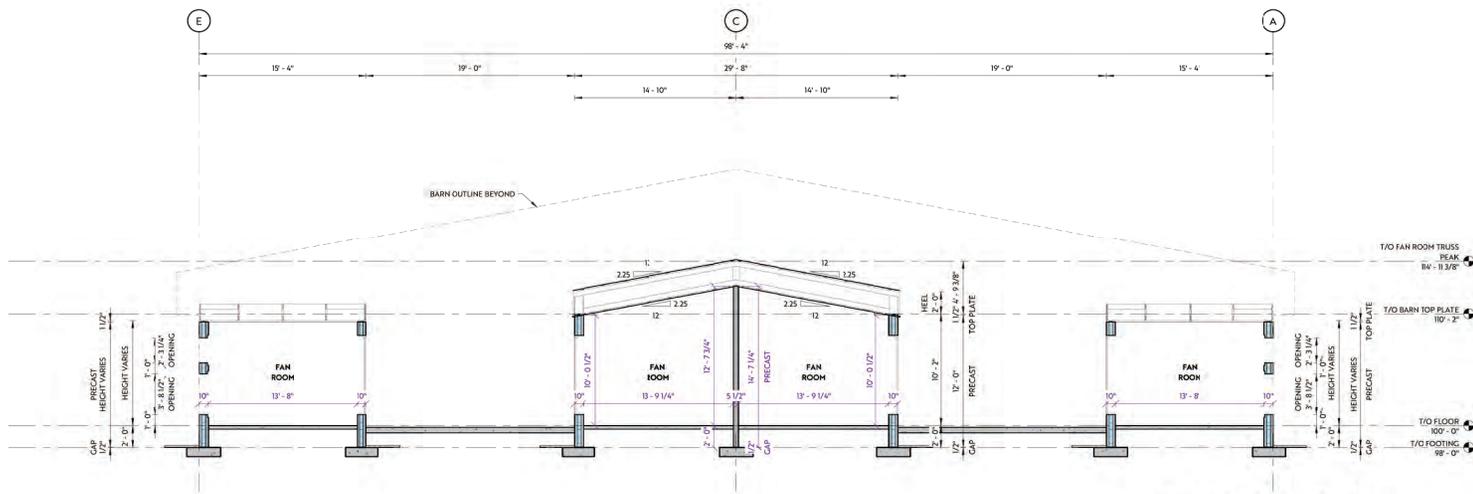
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11:17:07 AM  
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Checked by: JC  
Sheet Name:

Building  
Sections

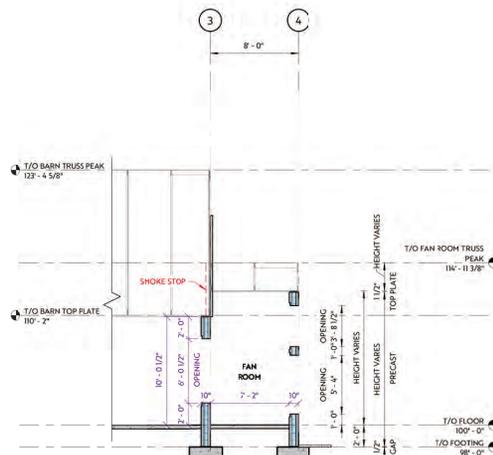
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A401

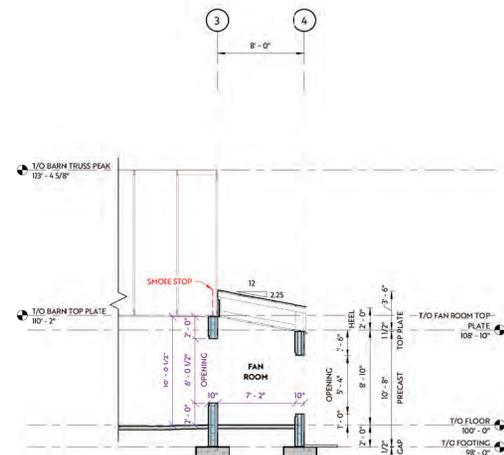
1/2" = 1'-0" SCALE DRAWING - VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR DIMENSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES. THIS IS A COPYRIGHTED DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



3 Building Section - Fan Rooms  
A402 3/8" = 1'-0"



5 Building Section - Fan Room Cable Center  
A402 3/8" = 1'-0"



4 Building Section - Fan Room Cable End  
A402 3/8" = 1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

aggregate  
design studio ltd.

EAGLE BUILDERS  
4031 885-5525 P.O. BOX 1690  
BLACKFALDS, AB, T0K 6J0

Kamlah Farms  
Pullet Barn  
Mountain View County, Alberta  
12-05-31-28 W4

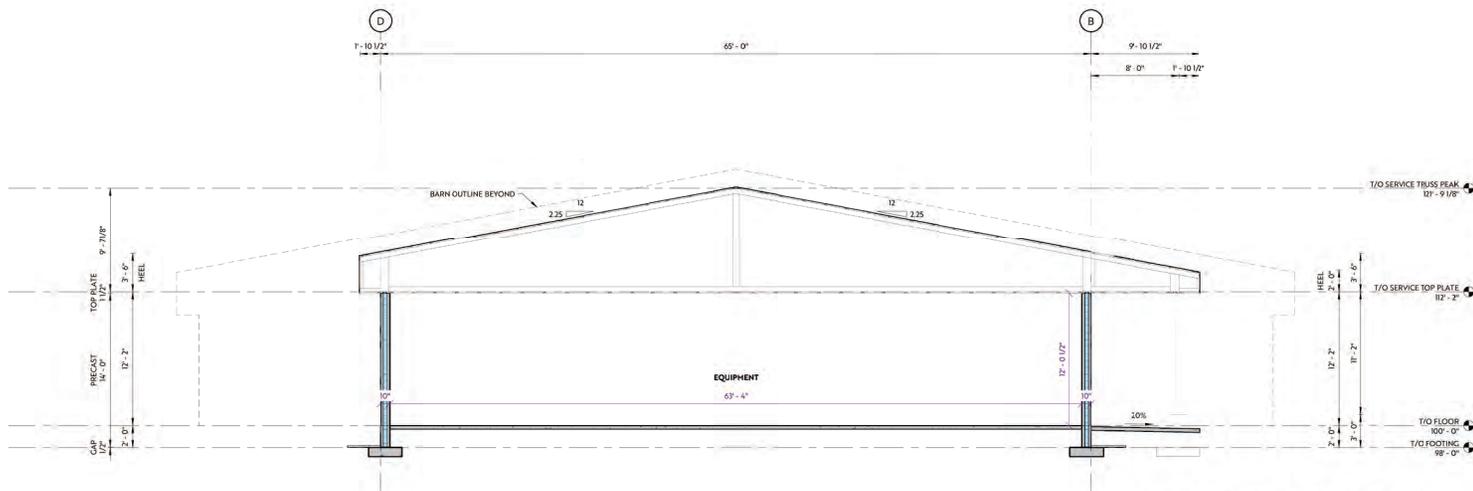
NO.	DESCRIPTION	DATE
A	ISSUED FOR PRELIMINARY REVIEW	2023-06-15
U	ISSUED FOR REVIEW	2024-01-23
C	ISSUED FOR REVIEW	2024-01-23

Project No: A23404  
Date: 1/29/2024 11:17:08 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

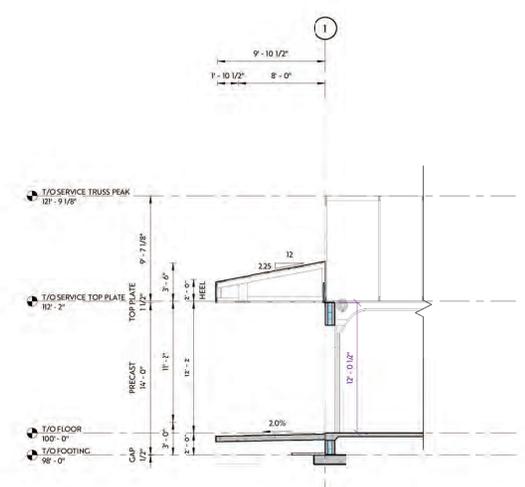
Building Sections

Sheet No:  
**A402**

©2024 SCALE DRAWING - VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR DIMENSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER REGULATORY AUTHORITY. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE DESIGNER.



**6 Building Section - Service Area**  
A403 3/64" = 1'-0"



**7 Building Section - Canopy**  
A403 3/64" = 1'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION

aggregate  
design studio ltd.

**EAGLE BUILDERS**  
1403 8th Street S.E. P.O. Box 1490  
Blackfalds, AB, T0M 6J0

**Kamlah Farms**  
**Pullet Barn**  
Mountain View County, Alberta  
12-05-31-28 W4

NO.	DESCRIPTION	DATE
A	ISSUED FOR PRELIMINARY REVIEW	2023.06.15
U	ISSUED FOR REVIEW	2024.01.23
C	ISSUED FOR REVIEW	2024.02.22

Project No: A23404  
Date: 1/29/2024 11:17:08 AM  
Drawn by: JC  
Checked by: JC  
Sheet Name:

**Building Sections**

Sheet No:  
**A403**

DO NOT SCALE DRAWING - VERIFY ALL DIMENSIONS, DATUMS AND LEVELS PRIOR TO COMMENCEMENT OF WORK. REPORT ANY DISCREPANCIES OR DIMENSIONS TO THE ARCHITECT IMMEDIATELY. ALL WORK MUST COMPLY WITH THE MOST RECENT EDITION OF THE APPLICABLE BUILDING CODE AND ANY OTHER GOVERNING AUTHORITIES. THIS IS A COPYRIGHT DRAWING AND SHALL NOT BE REPRODUCED OR REVISED WITHOUT THE WRITTEN CONSENT OF THE DESIGN FIRM.

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

## GENERAL ENVIRONMENTAL INFORMATION

(complete this section for the worst case of the existing facility which is the closest to water bodies or water wells and for each of the proposed facilities)

Facility description / name (as indicated on site plan)

Existing: Existing Broiler Barns

Proposed 1: Breeder Pullet Barn

Proposed 2: Existy Breeder Barns

Proposed 3: \_\_\_\_\_

Facility and environmental risk information		Facilities				NRCB USE ONLY	
		Existing	Proposed 1	Proposed 2	Proposed 3	Meets requirements	Comments
Flood plain information	What is the elevation of the floor of the lowest manure storage or collection facility above the 1:25 year flood plain or the highest known flood level?	<input type="checkbox"/> > 1 m <input checked="" type="checkbox"/> ≤ 1 m <u>&gt; 1 m</u>	<input type="checkbox"/> > 1 m <input checked="" type="checkbox"/> ≤ 1 m <u>&gt; 1 m</u>	<input type="checkbox"/> > 1 m <input checked="" type="checkbox"/> ≤ 1 m	<input type="checkbox"/> > 1 m <input type="checkbox"/> ≤ 1 m	<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	Site is not located in a flood plain
Surface water information	How many springs are within 100 m of the manure storage facility or manure collection area?	0	0	0		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	No springs observed
	How many water wells are within 100 m of the manure storage facility or manure collection area?	0	0	0		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	No water wells within 100 m
	What is the shortest distance from the manure collection or storage facility to a surface water body? (e.g., lake, creek, slough, seasonal)	400	400	400		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	Creek located 400 m west of existing site
Groundwater information	What is the depth to the water table?		71m	71m		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	Confirmed
	What is the depth to the groundwater resource/aquifer you draw water from?	15m	15m	15m		<input checked="" type="checkbox"/> YES <input type="checkbox"/> NO <input type="checkbox"/> YES with exemption	UGR at 7.62 m in WW 258248

Additional information (attach supporting information, e.g. borehole logs, records, etc. you consider relevant to your application)

## Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

### DISTANCE OF ANY MANURE STORAGE FACILITY (EXISTING OR PROPOSED) TO NEIGHBOURING RESIDENCES

Neighbour name(s)	Legal land description	Distance (m)	NRCB USE ONLY				
			Zoning (LUB) category	MDS category (1-4)	Distance (m)	Waiver attached (if required)	Meets regulations
Jeffery Kamlah	SE-6-31-28-W4	310.61	Applicant				N/A
Nathan Reinhardt	SE-6-31-28-W4	1811.66	Ag	1	979		Yes
D. Derksen	SW-5-31-28-W4	335.85	Ag	1	334	Yes	Yes with waiver
D. Derksen	NW-31-30-28-W4	1050.61	Ag	1	1091		Yes
C. Coats	NE-6-31-28-W4	869.27	Ag	1	851		Yes

### LAND BASE FOR MANURE AND COMPOST APPLICATION (complete only if an increase in livestock or manure production will occur)

Name of land owner(s)*	Legal land description	Usable area** (ha)	Soil zone ***	NRCB USE ONLY	
				Usable area (ha)	Agreement attached (if required)
Kamlah Farms Ltd	NW&SW 5-31-28-W4	300	Black		
Speelman Farms	SE 4-31-28-W4		Black		
	N1/2 8-31-27-W4		Black		
	SE-8-31-27-W4		Black		
Total 1280 acres	S1/2-4-31-27-W4		Black		

AO Note: The applicant has opted to show proof of manure transfer, rather than spreading lands. Please see attached.

\* If you are **not** the registered landowner, you must attach copies of land use agreements signed by all landowners.

\*\* Available manure spreading area (excluding setback areas from residences, common bodies of water, water wells, etc. as identified in Agdex 096-5 Manure Spreading Regulations)

\*\*\* Brown, dark brown, black, grey wooded, or irrigated

**Additional information (attach any additional information as required)**

Total 1280 acres

# Minimum Distance Separation (MDS) Waiver (declaration)

Applicant information

NRCB application number: \_\_\_\_\_

Operator/operation name: Kamlah Farms Ltd

Address: RR2 site 10 Box 3 Didsbury AB Postal Code: T0M0W0

Legal land location of confined feeding operation: nw-5-31-28-W4

I have requested the residence owner(s) named below to waive the required minimum distance separation (MDS) to their residence for the *Agricultural Operation Practices Act* (AOPA) permit application identified above. In making this request, I have provided the owner(s) with an opportunity to review my permit application and a copy of the Natural Resources Conservation Board (NRCB) Fact Sheet "Minimum Distance Separation (MDS) Waivers" available on the NRCB website at [www.nrcb.ca](http://www.nrcb.ca). I have also explained:

- The MDS requirement set out in section 3 of the Standards and Administration Regulation of AOPA. I have advised the owner(s) that section 3(6)(a) of the Standards and Administration Regulation allows this requirement to be waived by the owners of residences, if they agree in writing to grant a waiver;
- That my proposed development does not meet the required MDS to the owner's residence; and,
- That this waiver applies only to this application as described. An increase in livestock capacity, annual manure production, level of odour production, change to the site plan or change to a facility that would increase the MDS would require a new waiver.

Following is a summary of the proposed development:

- The current scope of my confined feeding operation (CFO), including the type, number, and category of livestock, if any, is:

Currently we have a broiler permit 130,000 broilers and 35,000 laying hens on nw-5-31-28-w4. we are moving 16,000 poultts to this legal land.

- My application for a new AOPA permit proposes the following changes to the existing livestock category, type and/or capacity at my CFO:

Move 16,000 poultts to nw-5-31-28-w4 from SE-6-31-28-w4

- The proposed new CFO facility(ies), or changes to the existing CFO facilities, including manure storage, manure storage volume and any other pertinent details, if any, are (attach a site layout plan if available):

Building a new barn to house 16,000 poultts beside current barns.

**I the applicant understand that the waiver is not valid unless ALL registered owners of the residence sign this document.**

Permit Applicant: \_\_\_\_\_ Date: February 28, 2024

Signature

Residence owner(s) to initial: J.K. G.K.

# Minimum Distance Separation (MDS) Waiver (declaration)

## Residence owner(s) information

ALL Names on land title: Denise Derksen

Legal land location of residence(s): SW-5-31-28-W4

Telephone number(s)<sup>1</sup>:  Email address(es)<sup>1</sup>: NA.

Address(es)<sup>1</sup> and Postal code(s)<sup>1</sup>: 

<sup>1</sup> Please note that personal contact information is for NRCB use ONLY and not publicly released

I am/we are the legal landowner(s) of a residence(s) located at the above noted legal land location/address:

- I/we have read the NRCB Fact Sheet "Minimum Distance Separation (MDS) Waivers";
- I/we have discussed this application with the applicant and understand its potential impacts to our residence(s);
- I/we understand that the application **does not** meet the MDS requirement to my/our residence(s), under the *Agricultural Operation Practices Act (AOPA)*;
- **I/we understand that this waiver is not valid unless signed by ALL parties identified on the land title as owners;**
- **I/we are not obligated to waive the MDS requirement to our residence(s);**
- I/we understand that if I/we choose to waive the MDS requirement, I/we can revoke the waiver, by providing written notice to the NRCB approval officer, as set out in the "Minimum Distance Separation (MDS) Waivers" Fact Sheet; and
- I/we understand that this waiver is a public document.

Having considered my/our rights, I/we hereby waive the MDS requirement to my/our residence, with respect to

Application number 

Signatures of all residence owner(s) on title

Denise Derksen

Printed names of all residence owner(s) on title:

Date: February 28, 2024

## Manure Agreement 2024

We Clint and Marsha Aarsby of AARSBY-C.M & SONS LTD. agree to purchase 2,370 tons of poultry manure from Jeff and Grejanka Kamlah of Kamlah Farms Ltd.



Clint and Marsha Aarsby



Jeff and Grejanka Kamlah

February 28, 2024

Date

AO Note: The applicant has provided a transfer agreement to sell all of their solid manure produced to the Aarsbys. Therefore no spreading land is required from Kamlahs.

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area and/or manure storage facility(ies)

## SOLID MANURE, COMPOST, & COMPOSTING MATERIALS: Barns, feedlots, & storage facilities - Concrete liner

(complete a copy of this section for **EACH** barn, feedlot, and storage facility for solid manure, composting materials, or compost with a concrete liner)

- Facility description / name (as indicated on site plan)
1. Proposed pullet barn
  - 2.

### Manure storage capacity

	Length (m)	Width (m)	Depth below grade to the bottom of the liner (m)	<b>NRCB USE ONLY</b> Estimated storage capacity (m <sup>3</sup> )
1.	92.71	29.97	0	
2.				

TOTAL CAPACITY

Adequate storage; manure is transferred to neighbour

I plan to use a short-term solid manure storage (STMS) as part of my manure storage and handling plan for this CFO. The AOPA requirements for STMS are set out in the NRCB [Short-Term Solid Manure Storage Requirements Fact Sheet](#).

### Surface water control systems

Describe the run-on and runoff control system  
Surface water will be controlled by the walls and roof of the building and by the finished landscape

### Liner protection

Describe how the physical integrity of the liner will be maintained under roof

#### NRCB USE ONLY

Requirements met:  YES  NO

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area and/or manure storage facility(ies)

## SOLID MANURE, COMPOST, & COMPOSTING MATERIALS: Barns, feedlots, & storage facilities - Concrete liner (cont.)

### Concrete liner details

Concrete thickness 4"	Method of sulphate protection: sulphate ristana blend
Concrete strength 25 MPa concrete complete with aer	Concrete reinforcement size and spacing 12 inch

Concrete requirements can be found in Technical Guideline Agdex 096-93

Guideline minimums:  
 Solid manure: 25MPa (D)  
 Solid manure (wet): 30MPa (C)  
 Method of sulphate protection:  
 Type 50 or Type 10 with fly ash or equivalent

### NRCB USE ONLY

Requirements met:  YES  NO  
 Condition required:  YES  NO  
 Report attached:  YES  NO

### Additional information (attach as required)

**NRCB USE ONLY**

Nine month manure storage volume requirements met  YES  YES With STMS  NO Manure is transferred

Depth to water table: > 1 m Requirements met:  YES  NO

Depth to Uppermost groundwater resource: 7.62 m Requirements met:  YES  NO

ERST completed:  see ERST page for details

**Surface water control systems**

Requirements met:  YES  NO Details/comments:

Indoor facility

**Concrete liner details**

A condition will be added, requiring applicant to show proof that the proposed liner meets our Technical Guidelines

Leakage detection system required:  YES  NO If yes, please explain why.

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

**NRCB USE ONLY**  
**ENVIRONMENTAL RISK SCREENING INFORMATION**

ERST for **proposed** facilities

Facility	Groundwater score	Surface water score	File number
Pullet barns	Low	Low	RA24008

ERST for **existing** facilities

Facility	Groundwater score	Surface water score	File number
Broiler breeder barns	Low	Low	RA21006
Broiler barns	Low	Low	RA18036

ERST related comments:

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

**NRCB USE ONLY**  
**WATER WELL AND SURFACE WATER INFORMATION**

Well IDs: No WW exist on NW quarter

Surface water related concerns from directly affected parties or referral agencies:  YES  NO  
 Groundwater related concerns from directly affected parties or referral agencies:  YES  NO

**Water wells**  N/A  
 If applicable, exemption for 100 m distance requirements applied:  YES  NO Condition required:  YES  NO

**Surface water**  N/A  
 If applicable, exemption for 30 m distance requirements applied:  YES  NO Condition required:  YES  NO

**Water Well Exemption Screening Tool**  N/A

Water Well ID	Preliminary Screening Score	Secondary Screening Score	Facility

**Groundwater or surface water related comments:**

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

## NRCB USE ONLY

### MINIMUM DISTANCE SEPARATION

Methods used to determine distance (if applicable): Aerial photography

Margin of error (if applicable): \_\_\_\_\_

Requirements (m): Category 1: 381 m Category 2: 509 m Category 3: 636 m Category 4: 1017 m

Technology factor:  YES  NO

Expansion factor:  YES  NO

MDS related concerns from directly affected parties or referral agencies:  YES  NO

### LAND BASE FOR MANURE AND COMPOST APPLICATION

Land base required: N/A, applicant has provided a transfer agreement

Land base listed: \_\_\_\_\_

Area not suitable: \_\_\_\_\_

Available area: \_\_\_\_\_

Requirement met:  YES  NO

Land spreading agreements required:  YES  NO

Manure management plan:  YES  NO

If yes, plan is attached:

### PLANS

Submitted and attached construction plans:  YES  NO

Submitted aerial photos:  YES  NO

Submitted photos:  YES  NO

### GRANDFATHERING

Already completed:  YES  NO  N/A

If already completed, see \_\_\_\_\_

# Part 2 – Technical Requirements

Application under the *Agricultural Operation Practices Act* for a confined feeding operation, manure collection area, and/or manure storage facility(ies)

**NRCB USE ONLY**

**ALL SIGNATURES IN FILE**  YES  NO

**DATES OF APPROVAL OFFICER SITE VISITS**

April 10, 2024	

**CORRESPONDENCE WITH MUNICIPALITIES AND REFERRAL AGENCIES**

Date deeming letters sent: March 12, 2024

Municipality: Mountain View County

letter sent       response received       written/email       verbal       no comments received

**Alberta Health Services:**       N/A

letter sent       response received       written/email       verbal       no comments received

**Alberta Environment and Parks:**       N/A

letter sent       response received       written/email       verbal       no comments received

**Alberta Transportation:**       N/A

letter sent       response received       written/email       verbal       no comments received

**Alberta Regulatory Services:**       N/A

letter sent       response received       written/email       verbal       no comments received

**Other:** Ember resources, EQUUS, Crossroads Gas Coop       N/A

letter sent       response received       written/email       verbal       no comments received

**Other:** \_\_\_\_\_       N/A

letter sent       response received       written/email       verbal       no comments received